



13646 Perkins Rd, 70810 | 225-228-3200 | planning@stgeorgela.gov | StGeorgeLA.gov

Location: 4505 Sherwood Common Blvd
Owner: Sherwood Commons, LLC
Applicant: Christopher Maestri, MRES
Site Area: 4.56 acres
Zoning: CW3 Commercial Warehousing Three
Character Area: Suburban
Flood Zone: X (protected by levee)
Conveyance Zone: No
Existing Use: Undeveloped

Request: Construct four new office/warehouse buildings totaling 75,600 sq. ft. and associated new parking areas in a single phase on an undeveloped site at Tract. Y-1-A-1-A-1-A-1, Sherwood Common Office Park property

Zoning Commission:
February 3, 2025 and March 10, 2025

Staff Recommendation: Approval, on the conditions in Finding #13 and all technical requirements and DRC comments are addressed before issuance of any permits

Findings

1. The subject property is an undeveloped lot, with street frontage on Sherwood Common Blvd. It consists of Tract Y-1-A-1-A-1-A-1 of the Sherwood Common Office Park property (Figure 1). The site was forested until 2019 when it was clear cut (per Google Earth Imagery).
2. The property is zoned CW3 Commercial Warehouse Three (Figure 2). Office/Warehouse is permitted use in this zoning district.
3. This request is for a new 75,600 sq. ft. non-residential project, triggering a Zoning Commission-level site plan approval [UDC Sec.7:4.2.2].

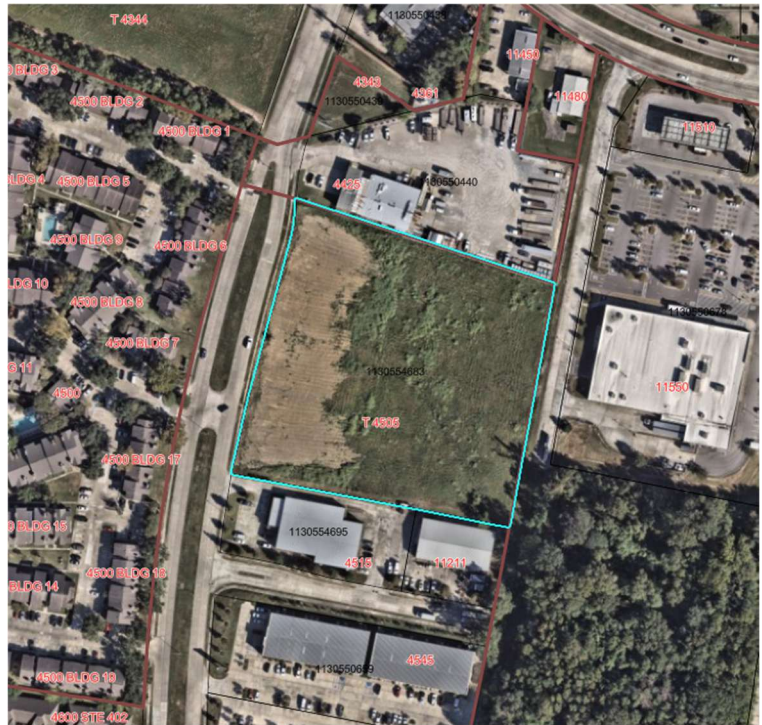


Figure 1: Aerial Photo of the Site and its surrounding area.

4. The surrounding land uses include office and truck parking (zoned C2) to the north, Walmart Neighborhood Market (zoned LC3) to the east, office/warehouse (zoned CW3) to the south, and high-density residential (zoned C2 in EBR jurisdiction) to the west across Sherwood Common Blvd (Figure 2).

5. The site plan proposes four identical single-story office/warehouse buildings, each with 18,900 sq. ft. GFA. Buildings 2, 3, and 4 are arranged parallel to each other near the street frontage, with two facing south and one facing north. Building 1 is situated at the back of the lot facing west near the east boundary.

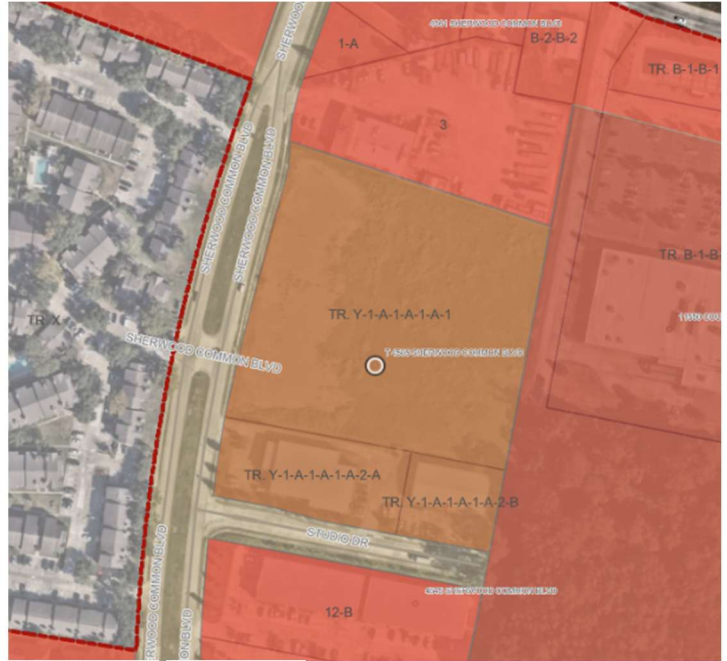


Figure 2: Current Zoning

6. Two stormwater management ponds are proposed on-site to store water and regulate runoff flow from the buildings and parking lots to the public drainage system. The ponds may be wet and/or dry and these detailed construction specifications are to be included as part of the construction plan process.
7. A total of 121 parking spaces, including 10 ADA spaces, are provided. Bicycle parking racks are provided for 7 bicycles.
8. Two proposed access driveways connect the development to Sherwood Common Blvd, facilitating vehicle circulation throughout the site.
9. The Development Review Committee (DRC) reviewed the proposed site plan.
10. During the DRC meeting on 1/7/2025, EBR staff raised concerns that the driveway alignment near the median opening on Sherwood Common Blvd could encourage left turns against oncoming traffic. However, in a 1/31/2025 email, Robert Joyner from EBR Parish Subdivision Engineering confirmed no objections to the proposed driveway locations.
11. On 2/18/2025, St. George Engineering Department confirmed with EBR that no additional turn lanes or traffic impact study were required. Instead, a raised island was recommended in the right-turn lane to enforce right-in/right-out (RIRO) movements. The revised site plan submitted on 2/19/2025 addressed this comment.
12. Under DRC comments, EBR Parish Subdivision Engineering Office requested to verify sewer capacity prior to approval of the construction plans. The applicant has submitted capacity request as application #1163.

- 13. EBR requests the following stipulation to the Site Plan: No building permits will be issued until sewer service is established through a permit with East Baton Rouge Parish.
- 14. The proposed site plan satisfies all technical requirements of the Unified Development Code, with a minor exception (Table 1)

Table 1. Summary of Technical Requirements of the UDC*

Standard or Guideline [UDC Sec.7:]	Required	Proposed	Meets?
Suburban Design Standards [10.3.2.E]			
Building design, street-facing wall	Transp. Windows or 5+ Other Elements	Three 70 ft street-facing walls, each with elements: metal wall panel, ribbed metal panel, wall mtd light, storefront glass, metal awning	YES
Site design, pedestrian ways	Min. 8ft-wide to primary entrance	N/A, no primary entrance	N/A
	Sidewalk connection	1 sidewalk connection proposed	YES
Site design, screening, mechanical	From all street frontages	N/A	N/A
Site design, fences, materials	See Code	6 ft. chain-link	YES
Dimensional Regulations [11.2.8]			
Setback, front (Sherwood Common Blvd)	Min. 25 ft	25 ft	YES
Setback, corner side	Min. 10 ft	N/A	N/A
Height	Max. 45 ft	23'-5"	YES
Drainage and Water Quality			
Stormwater Management Plan [15.13]	Yes	Submitted	YES
Drainage Impact Study [15.15]	Yes	Submitted	YES
Water Quality Impact Study [15.17]	Yes	Submitted	YES
Floodplain Conveyance Zone [15.24]	No	N/A	N/A
Stream Setbacks [15.25]	No	N/A	N/A

Signage [16.5.5.B]			
Monument Sign, area	Max 64 sq ft	50 sq ft (10 ft x 5 ft)	YES
Monument Sign, height	Max 20 ft	5 ft	YES
Monument Sign, planting	2 ft from the base on sides	2 ft from the base on sides	YES
Parking and Loading			
Motor Vehicle Parking, number [17.4]	Min. 97 Max. 121	121	YES
Barrier curbing [17.5.1.A.3]	Installed	Sidewalk grading to be determined	Not Yet
Motor Vehicle Parking, location, size [17.5.2.B.1]	Stall Width 9ft, Stall Depth 18 ft, Aisle Width 24 ft	Stall Width 10ft, Stall Depth 20 ft, Aisle Width 24 ft	YES
Motor Vehicle Parking, location, suburban [17.5.2.B.2]	Not in required yard or buffer	Not in required yard or buffer	YES
Bicycle Parking, number [17.6.1]	Min. 6	7	YES
Off-Street Loading, number [17.8.2]	2	2	YES
Buffers and Landscaping			
Percentage [18.3.2]	Min. 10%	11.4%	YES
Buffer to Light Commercial [18.3.3]	N/A	N/A	N/A
Street yard, trees, Sherwood Common Blvd [18.3.4]	Min. 12 Class A or Replace with Class B/C	11 Class A and 3 Class B	YES
Street yard, screen between parking and sidewalk [18.3.4.B.5]	3 ft tall screen	Solid evergreen 3 ft tall shrubs	YES
Street yard, landscape strip [18.3.4.C]	Min. 10 ft	25 ft	YES
Parking lot, spaces to a tree [18.3.5]	W/in 100 ft	W/in 100 ft	YES
Parking lot, interior islands [18.3.5]	Every 10 spaces	Every 10 spaces	YES
Parking lot, median islands [18.3.5]	Every 6 rows	N/A	N/A
Screening, utilities [18.4.1]	Shrub	N/A, HVAC on top of buildings	N/A
Sight triangle [18.7.2]	Clear	Clear	YES

**Any requirement not marked as YES will meet prior to issuance of any permits.*

Criteria for Approval [UDC 4.2.5]

- A. Meet all of the requirements of the Unified Development Code, including the requirements for:
1. The provisions of any overlay district after review by the Zoning Commission, as described in Chapter 10, Overlay Districts;
Staff Comment: Meets.
 2. The dimensions of all aspects of the development, as described in Chapter 11, Dimensions;
Staff Comment: Meets.
 3. Open space, as described in Chapter 12, Open Space;
Staff Comment: Not applicable.
 4. Sidewalks, as described in Chapter 13, Streets and Sidewalks;
Staff Comment: Not applicable.
 5. Drainage, as described in Chapter 15, Floodways, Floodplains, Drainage and Water Quality;
Staff Comment: Meets.
 6. Signage, as described in Chapter 16, Signs;
Staff Comment: Meets.
 7. Parking, as required in Chapter 17, Parking;
Staff Comment: Meets, except wheel stop/curb finishing to be determined.
 8. Buffers and landscaping, as required in Chapter 18, Landscape;
Staff Comment: Meets.
 9. With regard to utilities, adequate facilities, including treatment and disposal facilities for sanitary waste.
Staff Comment: Essential public infrastructure and facilities are adequate (refer to General Utility Notes on Sheet #3). A screened refuse facility is proposed on site.

Staff certifies that the proposed site plan complies with the Unified Development Code requirements, with minor technical details to be determined at the construction plan process.

B. Be in the public interest by not resulting in:

1. Undue congestion of streets and traffic access;

Staff Comment: The current plan has considered circulation with two access points. The Engineering Department has reviewed the traffic impact of the project and confirmed with EBR that no additional turn lanes or traffic impact study were required. A raised island in the right-turn lane has been incorporated into the design to enforce right-in/right-out (RIRO) movements, mitigating potential congestion or safety hazards.

2. Overcrowding of land;

Staff Comment: The site layout provides clear separation between the buildings and includes adequate space for circulation, parking and stormwater management. Overcrowding of the land is not anticipated as the buildings are appropriately scaled for the lot.

3. Overburdening of public facilities including, among others, sewage, solid waste, drainage, schools, and parks;

Staff Comment: Water, electricity, gas services will be extended to the site. Sewer service will be installed by the developer and connect to the existing public sewer system. Sewer service will be established and permitted with EBR. Stormwater will be collected and routed to public drainage system.

4. Impairment of water quality.

Staff Comment: The water quality impacts of this development will be offset by the proposed stormwater management ponds and snout inserts being employed on the site, provided they are properly designed and maintained.

Staff certifies that the proposed site plan is in the public interest.

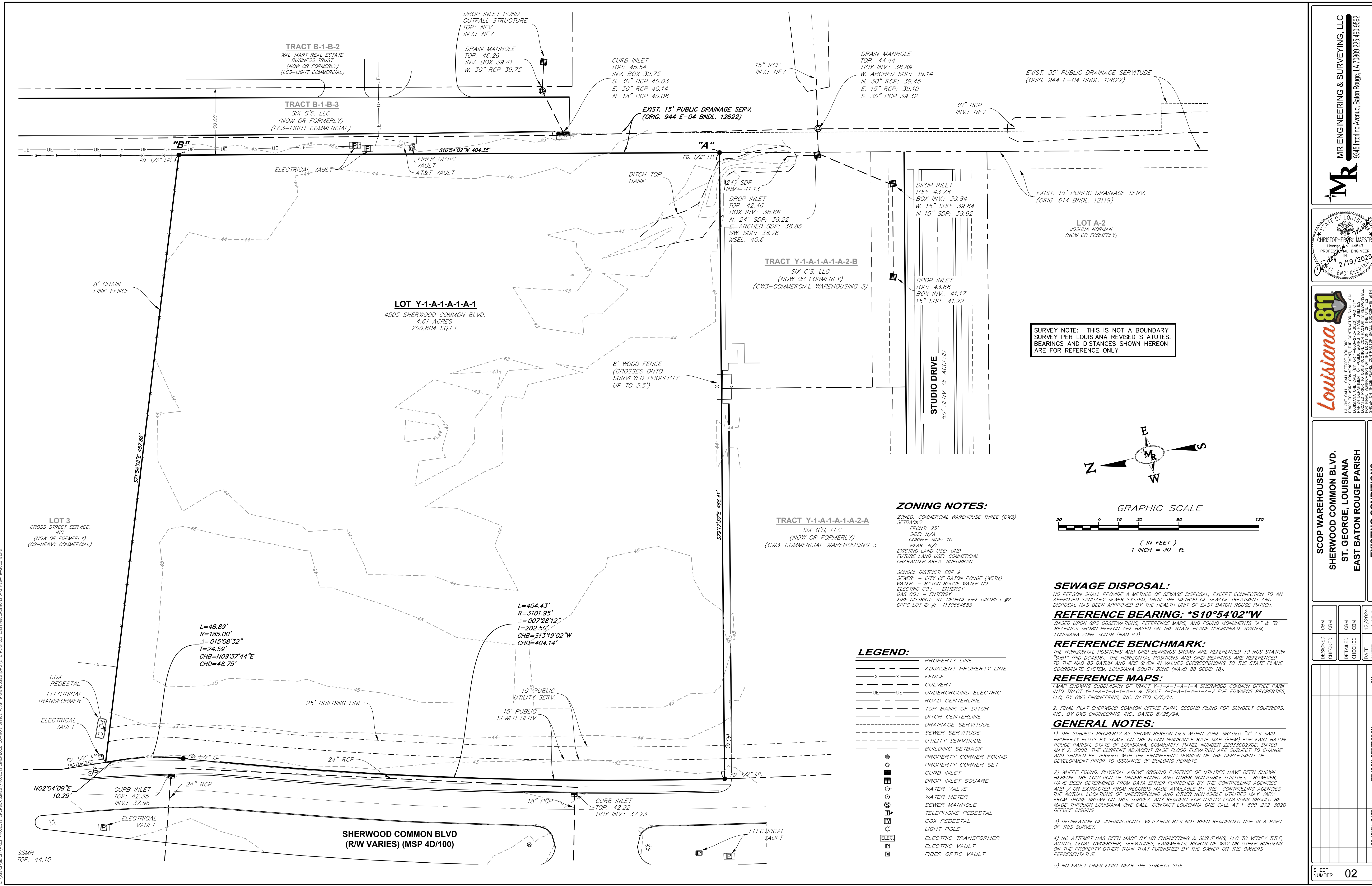
Consistency with Comprehensive Plan

St. George has not adopted a comprehensive plan, but this section refers to FuturEBR, which is the Parish's comprehensive plan that covered St. George prior to its incorporation.

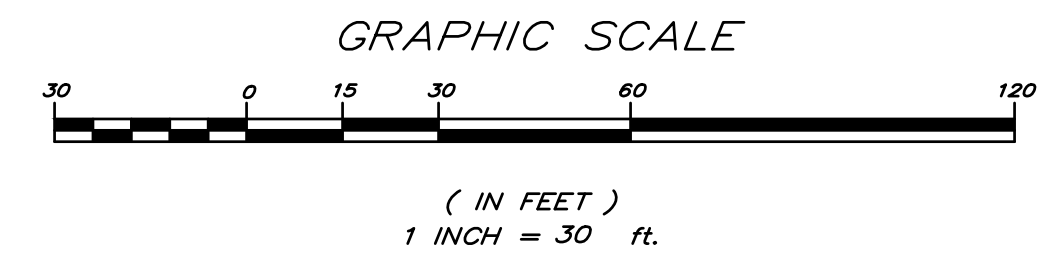
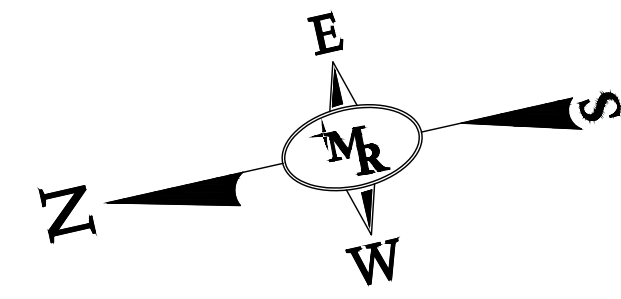
- Future Land Use is Commercial (C).
- "Commercial areas primarily function as service and job destinations...Buildings in these areas typically stand one to five stories with offices...Parking is plentiful in these areas because uses are predominately car-oriented"
- Staff finds that the proposed site plan is consistent with the C future land use.

Public Notification

- The subject property sign was posted on January 17, 2025.
- Letters were mailed to owners of property within 300 feet on January 17, 2025.
- Legal advertisement was published on January 17, 24, and 31, 2025.



SURVEY NOTE: THIS IS NOT A BOUNDARY SURVEY PER LOUISIANA REVISED STATUTES. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



ZONING NOTES:
 ZONED: COMMERCIAL WAREHOUSE THREE (CW3)
 SETBACKS:
 FRONT: 25'
 SIDE: N/A
 CORNER SIDE: 10'
 REAR: N/A
 EXISTING LAND USE: UND
 FUTURE LAND USE: COMMERCIAL
 CHARACTER AREA: SUBURBAN
 SCHOOL DISTRICT: EBR 9
 SEWER: - CITY OF BATON ROUGE (WSTN)
 WATER: - BATON ROUGE WATER CO
 ELECTRIC CO.: - ENTERGY
 GAS CO.: - ENTERGY
 FIRE DISTRICT: ST. GEORGE FIRE DISTRICT #2
 OPPC LOT ID #: 1130554683

- LEGEND:**
- — — — — PROPERTY LINE
 - - - - - ADJACENT PROPERTY LINE
 - x-x-x-x- FENCE
 - - - - - CULVERT
 - UE-UE- UNDERGROUND ELECTRIC
 - - - - - ROAD CENTERLINE
 - - - - - TOP BANK OF DITCH
 - - - - - DITCH CENTERLINE
 - - - - - DRAINAGE SERVITUDE
 - - - - - SEWER SERVITUDE
 - - - - - UTILITY SERVITUDE
 - - - - - BUILDING SETBACK
 - - - - - PROPERTY CORNER FOUND
 - - - - - PROPERTY CORNER SET
 - CURB INLET
 - DROP INLET SQUARE
 - WATER VALVE
 - WATER METER
 - SEWER MANHOLE
 - TELEPHONE PEDESTAL
 - COX PEDESTAL
 - LIGHT POLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC VAULT
 - FIBER OPTIC VAULT

SEWAGE DISPOSAL:
 NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF EAST BATON ROUGE PARISH.

REFERENCE BEARING: *S10°54'02"W*
 BASED UPON GPS OBSERVATIONS, REFERENCE MAPS, AND FOUND MONUMENTS "A" & "B". BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, LOUISIANA ZONE SOUTH (NAD 83).

REFERENCE BENCHMARK:
 THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NGS STATION "SUB1" (PID DC4818). THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 DATUM AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE (NAD 83 GEOD 18).

REFERENCE MAPS:
 1. MAP SHOWING SUBDIVISION OF TRACT Y-1-A-1-A-1-SHERWOOD COMMON OFFICE PARK INTO TRACT Y-1-A-1-A-1-A-1 & TRACT Y-1-A-1-A-1-A-2 FOR EDWARDS PROPERTIES, LLC, BY GNS ENGINEERING, INC. DATED 6/5/14.
 2. FINAL PLAT SHERWOOD COMMON OFFICE PARK, SECOND FILING FOR SUNBELT COURRIERS, INC., BY GNS ENGINEERING, INC., DATED 8/26/14.

GENERAL NOTES:
 1) THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE SHAD "X" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EAST BATON ROUGE PARISH, STATE OF LOUISIANA, COMMUNITY-PANEL NUMBER 220330270E, DATED MAY 2, 2008. THE CURRENT ADJACENT BASE FLOOD ELEVATION ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE DEPARTMENT OF DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
 2) WHERE FOUND, PHYSICAL ABOVE GROUND EVIDENCE OF UTILITIES HAVE BEEN SHOWN HEREON. THE LOCATION OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES, HOWEVER, HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE CONTROLLING AGENCIES AND / OR EXTRACTED FROM RECORDS MADE AVAILABLE BY THE CONTROLLING AGENCIES. THE ACTUAL LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES MAY VARY FROM THOSE SHOWN ON THIS SURVEY. ANY REQUEST FOR UTILITY LOCATIONS SHOULD BE MADE THROUGH LOUISIANA ONE CALL, CONTACT LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.
 3) DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS A PART OF THIS SURVEY.
 4) NO ATTEMPT HAS BEEN MADE BY MR ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.
 5) NO FAULT LINES EXIST NEAR THE SUBJECT SITE.

MR ENGINEERING & SURVEYING, LLC
 3945 Infield Avenue, Baton Rouge, LA 70809 225-490-9592

CHRISTOPHER MAESTRI
 LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 44543
 EXPIRES 2/19/2025

Louisiana 811
 LA ONE CALL - CALL BEFORE YOU DIG. THE 811 SERVICE IS A FREE SERVICE PROVIDED BY THE LOUISIANA ONE CALL CENTER. IT IS THE RESPONSIBILITY OF THE UTILITY USER TO CALL 811 PRIOR TO ANY EXCAVATION WORKS TO HAVE UTILITIES LOCATED AND MARKED FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES WITHIN THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.

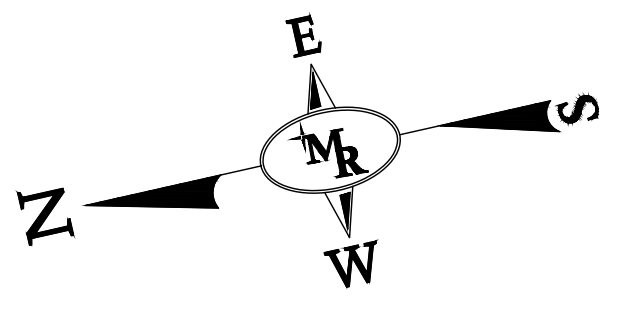
EXISTING CONDITIONS

SCOP WAREHOUSES
 SHERWOOD COMMON BLVD.
 ST. GEORGE, LOUISIANA
 EAST BATON ROUGE PARISH

DESIGNED	CHECKED	DETAILED	CHECKED	DATE	BY
				12/2024	2 OF 6

SHEET NUMBER **02**

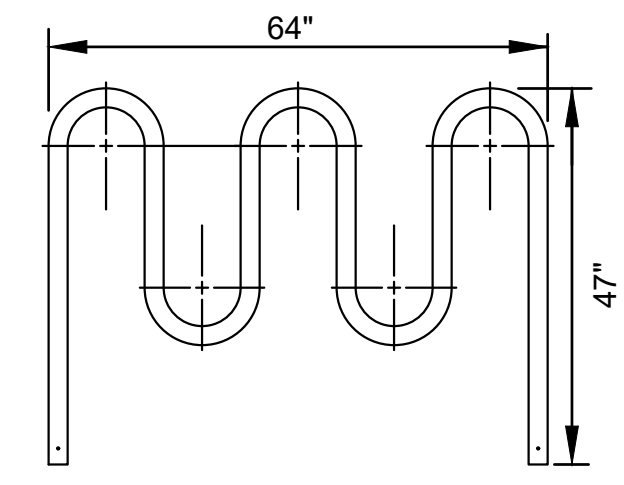
G:\USERS\JSTAYBARD\PROJECTS\SHERWOOD COMMON OFFICE PARK\AREAS\DWG\SITE PLAN\02 EXISTINGCONDITIONS.DWG FEB-19-2024 08:28:26



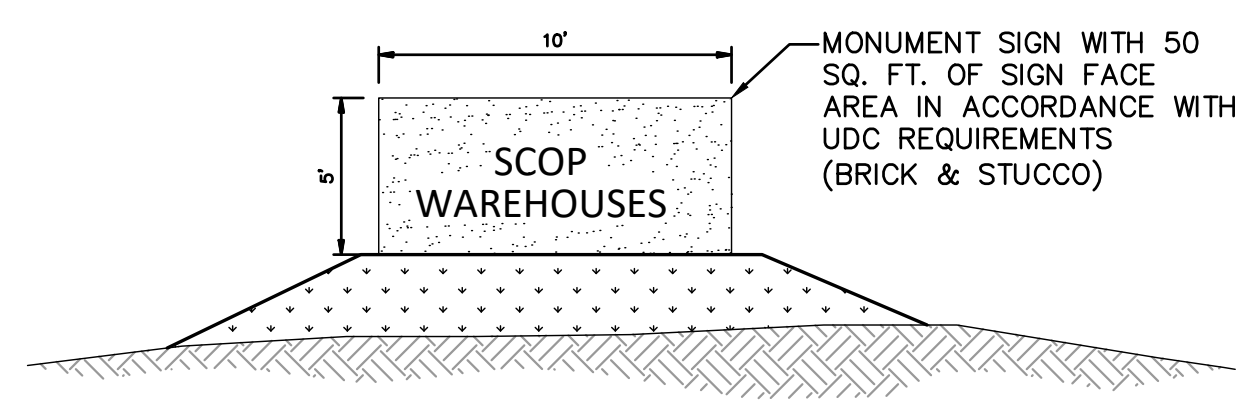
TRACT B-1-B-2
WAL-MART REAL ESTATE
BUSINESS TRUST
(NOW OR FORMERLY)
(LC3-LIGHT COMMERCIAL)

TRACT B-1-B-3
SIX G'S, LLC
(NOW OR FORMERLY)
(LC3-LIGHT COMMERCIAL)

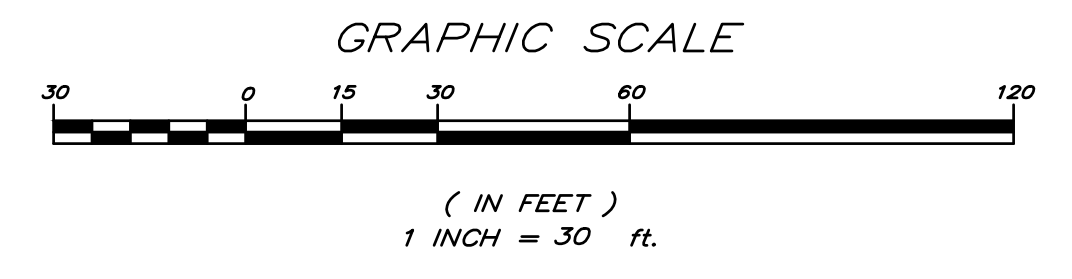
EXIST. 15' PUBLIC DRAINAGE SERV.
(ORIG. 944 E-04 BNDL. 12622)



BICYCLE PARKING RACK
SCALE: N.T.S.



TYPICAL SIGN
N.T.S.



UTILITIES/CONTACTS

WATER SERVICE
BATON ROUGE WATER COMPANY
P.O. BOX 96016
BATON ROUGE, LA 70896-9016
(225)231-0304
MARGE SWANSON

SEWER SERVICE
CITY OF BATON ROUGE
251 FLORIDA ST.
BATON ROUGE, LA 70801
(225) 389-3154

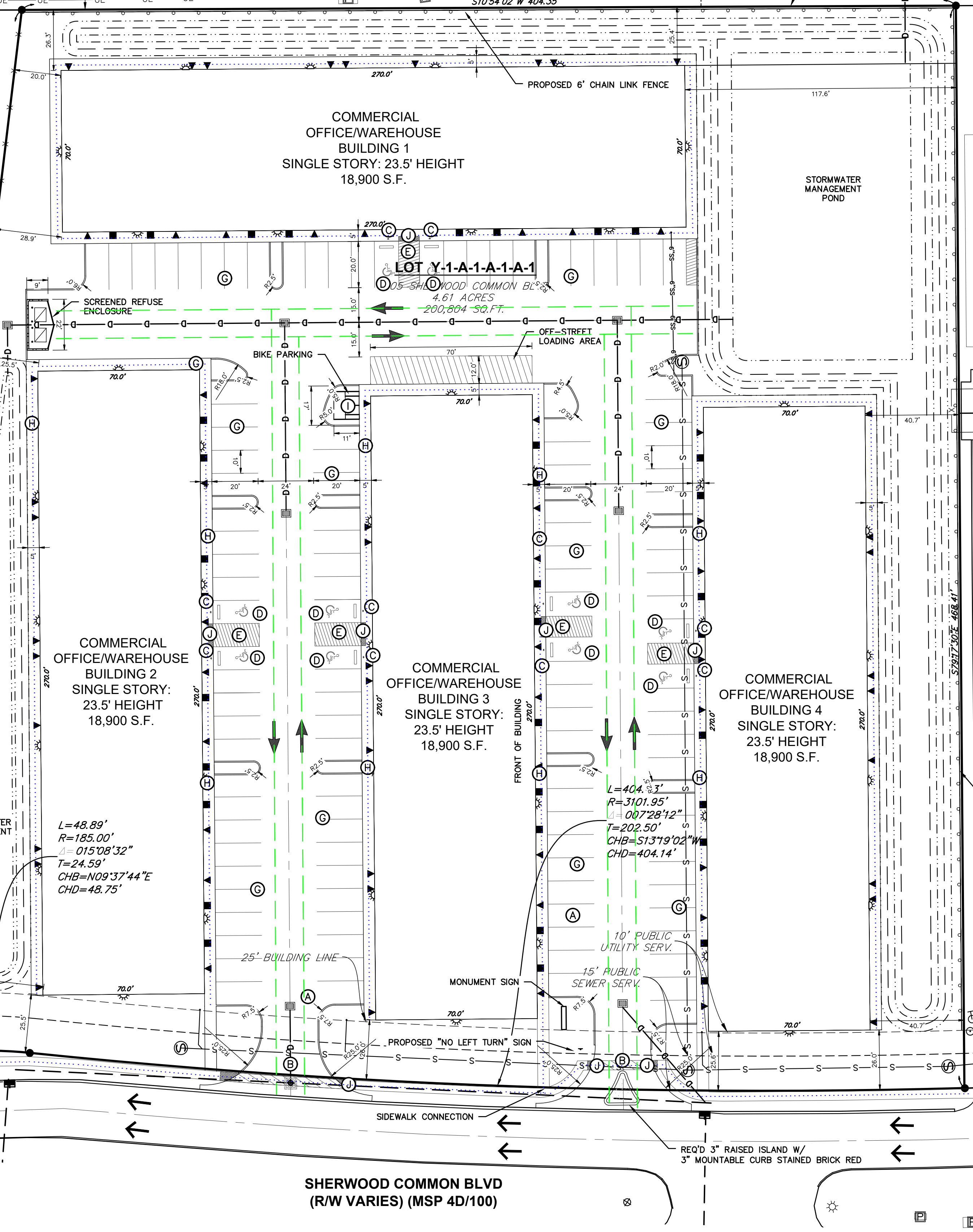
ELECTRICAL SERVICE
ENERGY ELECTRIC
BATON ROUGE, LOUISIANA 70895
JUSTIN RETTSTATT
(504) 654-9746

TELEPHONE SERVICE
AT&T
S. SHERWOOD FOREST BLVD.
(225)291-1851
DERRICK RODRIGUE

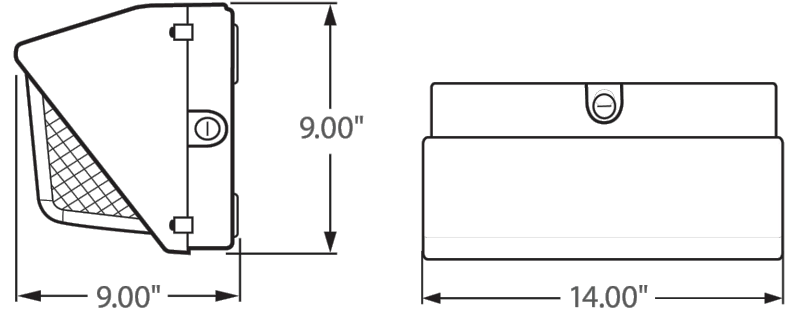
GAS SERVICE
ENERGY SOUTHERN FRANCHISE
P.O. BOX 2431
BATON ROUGE, LA 70821
(225)351-3130
MIKE CREEL

CABLE SERVICE
COX CABLE
5428 FLORIDA BLVD.
BATON ROUGE, LA 70806
(225)930-2207
LATONYA HUNT

LOT 3
CROSS STREET SERVICE,
INC.
(NOW OR FORMERLY)
(C2-HEAVY COMMERCIAL)



TRACT Y-1-A-1-A-1-A-2-B
SIX G'S, LLC
(NOW OR FORMERLY)
(CW3-COMMERCIAL WAREHOUSING 3)



TYPICAL WALL PACK LIGHTING
N.T.S.
MOUNTING HEIGHT: 19'
ANGLE: FULL CUTOFF

TRACT Y-1-A-1-A-1-A-2-A
SIX G'S, LLC
(NOW OR FORMERLY)
(CW3-COMMERCIAL WAREHOUSING 3)

PARKING REQUIREMENTS:

CATEGORY	FORMULA	# OF UNITS	REQ'D SPACES
OFFICE/WAREHOUSE	1/300 GFA OFFICE/SALES	25,200	84
OFFICE/WAREHOUSE	1/4,000 GFA STORAGE SPACE	50,400	13
BICYCLE	1/20 MOTOR VEHICLE SPACES	121	7
TOTAL SPACES REQUIRED			97
TOTAL SPACES PROVIDED			121
TOTAL ADA SPACES PROVIDED			10
TOTAL BIKE SPACES PROVIDED			7

BUILDING TABLE:

BUILDING	SQ. FT.	USE
1	18,900	OFFICE/WAREHOUSE
2	18,900	OFFICE/WAREHOUSE
3	18,900	OFFICE/WAREHOUSE
4	18,900	OFFICE/WAREHOUSE
TOTAL	75,600 SQ.FT.	OFFICE/WAREHOUSE

NOTES:

- MAIL DELIVERY IS INSIDE THE BUILDINGS. NO MAIL KIOSKS REQUIRED.
- ALL RADII 5' UNLESS OTHERWISE NOTED.
- HVAC EQUIPMENT IS ON TOP OF THE BUILDINGS.

GENERAL UTILITY NOTES:

- STATEMENT OF ARRANGEMENTS WITH UTILITY PROVIDERS.
- WATER: SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY BATON ROUGE WATER COMPANY.
 - ELECTRIC: SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY ENTERGY.
 - GAS: SERVICE WILL BE EXTENDED AND PROVIDED TO THE SITE BY ENTERGY.
 - SEWER: SERVICE WILL BE INSTALLED BY THE DEVELOPER AND CONNECT TO THE EXISTING EBR PUBLIC SEWER SYSTEM.
 - TELECOMMUNICATIONS: SERVICE WILL BE INSTALLED AND PROVIDED BY AT&T AND/OR COX.
 - DRAINAGE: STORMWATER WILL BE COLLECTED AND ROUTED TO PUBLIC DRAINAGE SYSTEM.

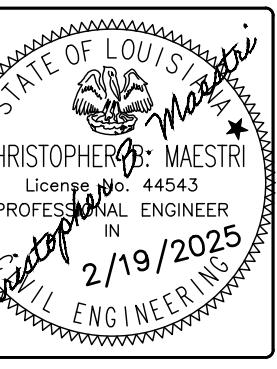
KEY NOTES:

- (A) STANDARD DUTY CONCRETE PAVING
- (B) CONCRETE DRIVE APRON
- (C) HANDICAP PARKING SIGN
- (D) HANDICAP PARKING SYMBOL
- (E) HANDICAP ACCESS UNLOADING ZONE
- (F) LIMITS OF NEW PAVING
- (G) STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN.
- (H) CONCRETE SIDEWALK
- (I) BICYCLE PARKING
- (J) ADA DETECTABLE WARNING PER ADA STANDARDS

LEGEND:

- (4) PARKING COUNT
- VEHICULAR DIRECTION OF TRAVEL
- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- x-x- FENCE
- s-s- SEWER LINE
- - - PARKING STRIPES
- - - CULVERT
- - - ROAD CENTERLINE
- - - TOP BANK OF DITCH
- - - DITCH CENTERLINE
- - - DRAINAGE SERVITUDE
- - - SEWER SERVITUDE
- - - UTILITY SERVITUDE
- - - BUILDING SETBACK
- PROPERTY CORNER FOUND
- CURB INLET
- DROP INLET SQUARE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- SIGN POST
- TELEPHONE PEDESTAL
- POWER JUNCTION BOX
- TRANSFORMER
- LIGHT POLE
- PEDESTRIAN DOOR
- ROLL-UP DOOR
- WALL PACK
- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION

MR ENGINEERING & SURVEYING, LLC
3945 Infield Avenue, Baton Rouge, LA 70809 225-490-9592

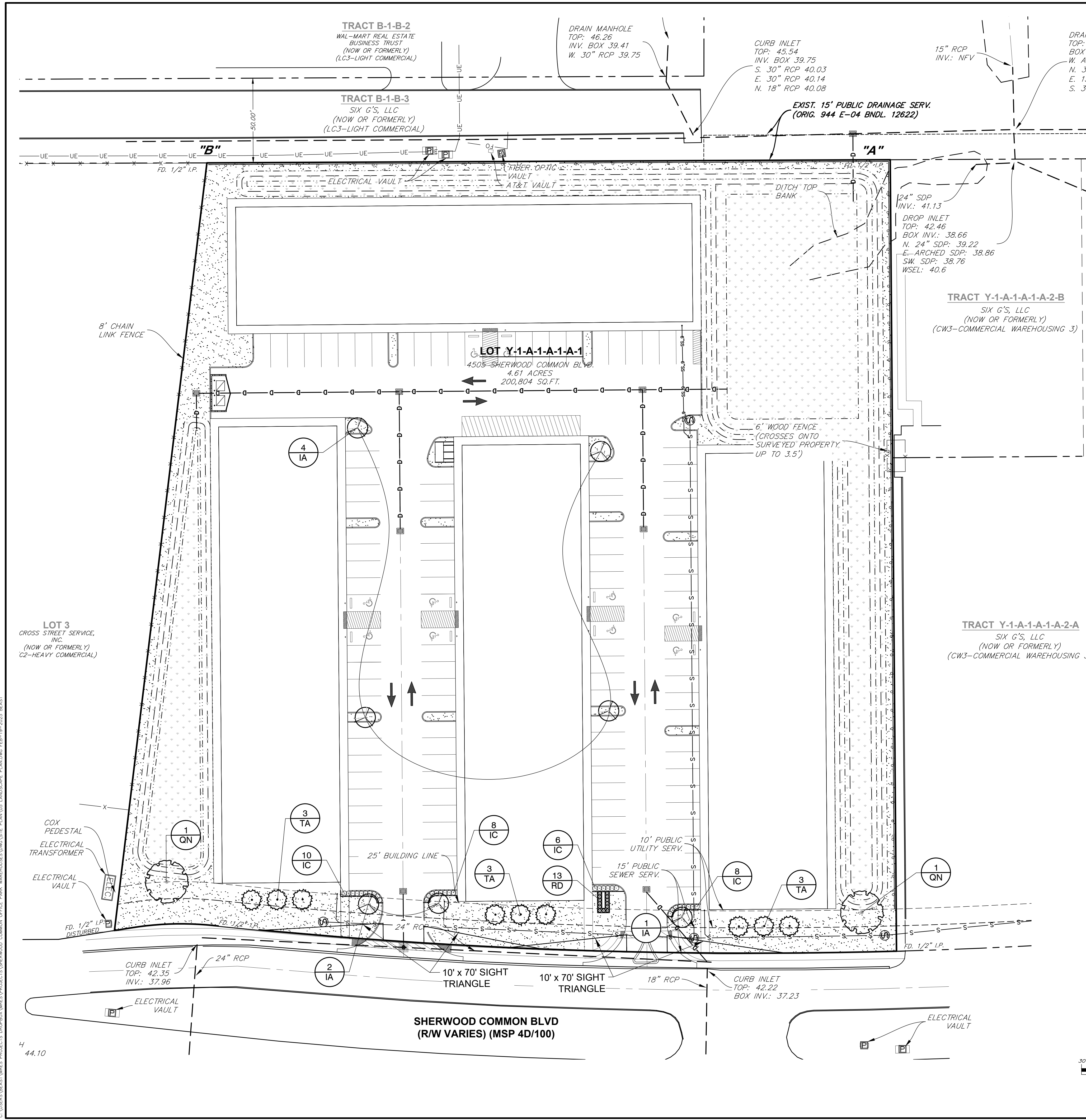


Louisiana 811
LA ONE CALL - CALL BEFORE YOU DIG
FOR A LIST OF PARTICIPATING UTILITIES, VISIT
WWW.LAONECALL.COM OR CALL 1-800-368-5848
FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES WITHIN
THE UTILITY COMPANIES' TOP ALL AREAS OF CONSTRUCTION.

SCOP WAREHOUSES
SHERWOOD COMMON BLVD.
ST. GEORGE, LOUISIANA
EAST BATON ROUGE PARISH

DESIGNED	CHECKED	DATE	BY
CBM	CBM	2/2025	3 OF 7
CHECKED	CBM		
DATE	CHECKED		
	CBM		

REVISION NUMBER	REVISION DESCRIPTION	DATE	BY



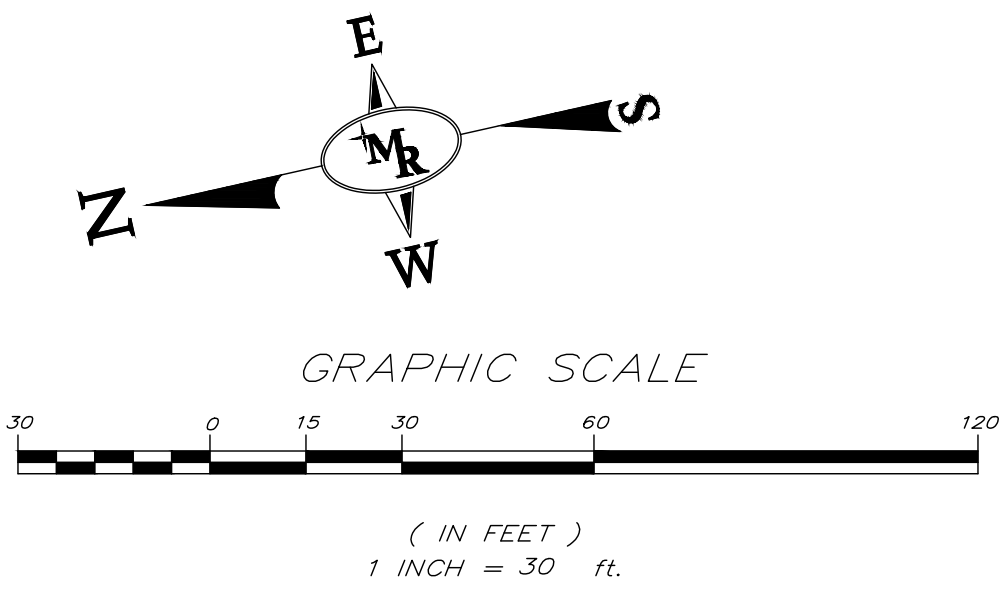
LANDSCAPE REQUIREMENTS:
PROPOSED ZONING: CW3
PROPOSED LAND USE: OFFICE/WAREHOUSE

STREETYARD PLANTING REQUIREMENT	PROPOSED STREETYARD PLANTINGS
SHERWOOD COMMON BLVD. SUBURBAN CHARACTER AREA: 1 CLASS "A" TREE PER 40 LF OR 1 CLASS "B" OR "C" TREE PER 40 LF WHERE OVERHEAD UTILITIES EXIST	464 LF TOTAL 12 CLASS A TREES REQUIRED 464 LF TOTAL 11 CLASS A TREES & 3 CLASS B TREES PROPOSED
REQUIRED DEVELOPED SITE AREA LANDSCAPING	PROPOSED DEVELOPED SITE AREA LANDSCAPING
AT LEAST 10% OF AREA SHALL BE LANDSCAPED (GREEN) AREA	200,775 SF = DEVELOPED SITE AREA 20,077.5 SF = REQUIRED LANDSCAPED AREA 22,855.5 SF PROVIDED LANDSCAPED AREA (11.4 %)
PARKING AREA PLANTING REQUIREMENT	PROPOSED PARKING AREA PLANTINGS
<ul style="list-style-type: none"> ALL PARKING SPACES SHALL BE WITHIN 100 LF OF A CLASS A OR B TREE. AN INTERIOR ISLAND SHALL BE PROVIDED FOR EVERY 10 PARKING SPACES IN A ROW. 	PROVIDED PROVIDED
BUFFERYARD PLANTING REQUIREMENT	PROPOSED BUFFERYARD PLANTINGS
NORTH PROP. LINE: ADJACENT PROPERTY=C2 ZONING (EXIST. LAND USE: O) SOUTH PROP. LINE: ADJACENT PROPERTY=CW3 ZONING (EXIST. LAND USE: MDR) EAST PROP. LINE: ADJACENT PROPERTY=LC3 ZONING (EXIST. LAND USE: C, UND)	N/A N/A N/A
A PERIMETER LANDSCAPED BUFFER YARD SHALL ALSO BE REQUIRED TO SCREEN OFF-STREET PARKING AREA AND BUILDING SERVICE AREAS FROM ABUTTING STREETS AND RESIDENTIAL ZONING AND USES.	SOLID EVERGREEN 3' HT SHRUBS
IRRIGATION REQUIREMENT	
ALL PLANTING AREAS WITHIN 200' OF A WATER SPIGOT	

PLANT SCHEDULE

LARGE TREE	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	MIN. SIZE
	IA	7	Ilex attenuata 'Eagleston' 'Eagleston' Holly (Tree Form)	1.5" Cal.	Cont. or B&B	8'H
	QN	2	Quercus nuttallii Nuttall Oak	2" Cal.	Cont. or B&B	10'-12'H
	TA	9	Taxodium ascendens Pond Cypress	2" Cal.	Cont. or B&B	10'-12'H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	MIN. SIZE
	IC	32	Ilex cornuta 'Burfordii nana' Dwarf Burford Holly	7 gal	36" O.C.	20"H
	RD	13	'Novarosop' PP 24,773 CPBR 5,391 Popcorn Drift Rose	3 gal	24" O.C.	Full
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CT	22,374 sf	Cynodon dactylon 'Tiftuf' 'Tiftuf' Bermuda Grass	Sod	Solid Coverage	
	HM	38,642 sf	Cynodon dactylon Bermuda Grass	Hydromulch	Solid Coverage	

FINAL INSPECTION NOTE:
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**FOR SITE PLAN REVIEW ONLY
NOT FOR CONSTRUCTION**

MR ENGINEERING & SURVEYING, LLC
3945 Infield Avenue, Baton Rouge, LA 70809 225-490-9592

02/19/2025

Louisiana 811
LA ONE CALL - CALL BEFORE YOU DIG. YOU DIG. CALL 811 TO REPORT ANY UNIDENTIFIED UTILITY LOCATIONS TO THE STATE OF LOUISIANA. THE STATE OF LOUISIANA WILL CALL THE UTILITY COMPANIES TO LOCATE AND MARK THE UTILITIES. THE UTILITY COMPANIES WILL BE RESPONSIBLE FOR THE FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES WITHIN THE UTILITY COMPANIES' OWN AREAS OF CONSTRUCTION.

SCOP WAREHOUSES
SHERWOOD COMMON BLVD.
ST. GEORGE, LOUISIANA
EAST BATON ROUGE PARISH

LANDSCAPE PLAN

DESIGNED	CHECKED	DATE	SHEET
JJP	CBM	2/2025	05 OF 07
DETAILED <td>CHECKED <td></td> <td></td> </td>	CHECKED <td></td> <td></td>		
JJP	CBM		
REVISION DATE	REVISION DESCRIPTION	BY	
SHEET NUMBER	05		

LANDSCAPE STANDARDS

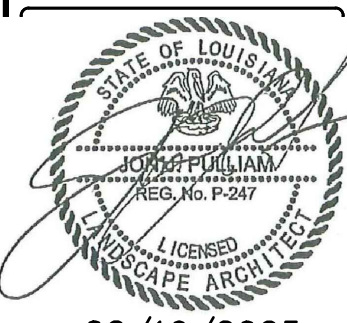
1. ALL PLANTS MATERIALS SHALL BE TRUE TO NAME, VARIETY, AND SIZE. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. ALL PLANT MATERIALS TO MEET ANSI Z.60 STANDARDS, LATEST EDITION.
2. THE LANDSCAPE CONTRACTOR SHALL MEET OR EXCEED BOTH THE CONTAINER SIZE AS WELL AS HEIGHT AND SPREAD SPECIFICATIONS ON ALL PLANT MATERIAL. CALIPER SIZES SHALL BE MEASURED SIX INCHES (6") ABOVE GROUND LEVEL.
3. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, AND OBTAINED FROM THE SAME SOURCE.
4. LANDSCAPE ARCHITECT MAY REJECT ANY MATERIALS THAT DO NOT MEET THE REQUIREMENTS OF THE PLANT LIST, DRAWINGS OR NOTES. REJECTED MATERIALS SHALL BE REMOVED BY THE CONTRACTOR AT NO COST TO THE OWNER. IN THE EVENT THAT THE MATERIALS ARE REJECTED, THE CONTRACTOR SHALL PURSUE AND EXAMINE OTHER SOURCES OF MATERIALS UNTIL ACCEPTABLE SPECIMENS ARE FOUND. SUCH A CHANGE WILL NOT CONSTITUTE AND INCREASE IN COST TO THE OWNER.
5. **CLASS A TREES:**
 - 5.1. **SINGLE TRUNK CLASS A TREES:** ALL SINGLE TRUNK CLASS A TREES SHALL HAVE A MINIMUM 2" CALIPER IMMEDIATELY AFTER PLANTING. SINGLE TRUNK TREES MUST MEASURE A MINIMUM HEIGHT OF 8' TALL IMMEDIATELY AFTER PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
 - 5.2. **MULTI-TRUNK CLASS A TREES:** ALL MULTI TRUNK CLASS A TREES SHALL HAVE MAIN STEMS WITH A MINIMUM OF 1-1/2" CALIPER PER TRUNK, A MINIMUM OF 3 MAIN STEMS, AND MEASURE A MINIMUM OF 10' TALL AT TIME OF PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
6. **CLASS B TREES:**
 - 6.1. **SINGLE TRUNK CLASS B TREES:** ALL SINGLE TRUNK CLASS B TREES SHALL HAVE A MINIMUM 2" CALIPER IMMEDIATELY AFTER PLANTING. SINGLE TRUNK CLASS B TREES MUST MEASURE A MINIMUM HEIGHT OF 8' TALL IMMEDIATELY AFTER PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
 - 6.2. **MULTI-TRUNK CLASS B TREES:** ALL MULTI TRUNK CLASS B TREES SHALL HAVE MAIN STEMS WITH A MINIMUM OF 1" CALIPER PER TRUNK, A MINIMUM OF 3 MAIN STEMS, AND MEASURE A MINIMUM OF 8' TALL AT TIME OF PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
7. **TREE PLANTING:** EXCAVATE 3 TIMES GREATER THAN BALL DIAMETER. ALL TREE PITS MUST BE LOOSENEED TO A DEPTH THAT ANY HARDPAN HAS BEEN BROKEN AND MOISTURE IS ALLOWED TO MOVE THROUGH FREELY. THE TREE MUST BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TREE'S ORIGINAL GRADE IN NURSERY OR BE SLIGHTLY ABOVE (NO MORE THEN ONE AND ONE HALF INCHES) FINISHED GRADE. TREE SHALL SET ON UNDISTURBED SUBGRADE. TREES THAT ARE PLANTED TOO LOW OR THAT SETTLE BELOW FINISHED GRADE OR THAT ARE PLANTED TOO HIGH SHALL BE REPLANTED AT CONTRACTOR'S EXPENSE. BACK FILL THE HOLE WITH A MIX OF 1/2 TOPSOIL AND 1/2 NATIVE SOIL FROM THE HOLE AND FERTILIZE. PROVIDE A 4" WATERING RING AND ADD A 4" LAYER OF SHREDDED PINE BARK MULCH OR PROCESSED HARDWOOD MULCH AND STAKE OR GUY AS SHOWN IF REQUIRED. (SEE DETAIL) WATER TREE TO THE POINT OF SATURATION.
8. **SHRUB PLANTING:** ALL SHRUBS SHALL BE A MINIMUM OF 24" IN HEIGHT IN A MINIMUM 3 GALLON CONTAINER UNLESS OTHERWISE SPECIFIED.
9. **GROUND COVER / SHRUB BEDS:** MIX 1/2 TOP SOIL AND 1/2 APPROVED GARDEN SOIL TO A DEPTH OF 8"-10", WITH A GENERAL (SLOW RELEASE PREFERRED), (14/14/14) FERTILIZER, (OR APPROVED EQUAL), AT A RECOMMENDED RATE AND TILL TO A MIN. DEPTH OF 10"-14". PROVIDE L.A. SAMPLE OF SOIL MIX FOR APPROVAL BEFORE STARTING BED PREP.
10. **HEDGES:** PLANTS SHALL BE PLANTED ON CENTER AS CALL FOR ON THE PLAN. TRIMMING INTO HEDGE SHAPE SHALL OCCUR FOLLOWING PLANTING. PLANTS SHALL HAVE BRANCHES TOUCHING SO AS TO FORM A HEDGE.
11. ALL TOP DRESS MULCHES SHALL BE SPECIFIED IN THE PLANT SPECIFICATIONS LIST. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH SAMPLE FOR APPROVAL PRIOR TO MULCHING BEDS. APPROVED MULCHES INCLUDE:
 - 3" DEPTH EGG ROCK MULCH OVER LANDSCAPE FABRIC.
12. **LAWNS:** AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1" IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES. ROLLS OF SOD ARE ACCEPTABLE. (WHERE APPLICABLE).
13. **SEEDED AREA:** ALL AREA DISTURBED BY CONSTRUCTION SHALL BE SEEDED WITH COMMON BERMUDA/RYE GRASS MIX. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR RATES, ETC.
14. ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN 2 WEEKS OF HYDROMULCHING SHALL BE RE-HYDROMULCHED AS DIRECTED UNTIL A SATISFACTORY LAWN HAS BEEN ESTABLISHED.
15. **FERTILIZER:** FERTILIZER SHALL BE A SLOW RELEASE 14-14-14 OR OTHER APPROVED BLEND, APPLIED AT THE RATE RECOMMENDED BY THE MANUFACTURER. ANY FERTILIZER THAT BECOMES WET, CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE WILL NOT BE ACCEPTED.
16. **WATERING AT TIME OF PLANTING:** INITIALLY, WATER THE PLANT MATERIAL TO DEVELOP UNIFORM COVERAGE AND DEEP WATER PENETRATION OF AT LEAST 6". AVOID EROSION, PUDDLING, AND WASHING SOIL AWAY FROM PLANT ROOTS.
17. **IRRIGATION AND WATERING:** HOSE BIBS SHALL BE PLACED WITHIN 200' OF ALL PLANTING BEDS OR A PERMANENT IN-GROUND IRRIGATION SYSTEM SHALL BE PROVIDED.
18. **FINAL ACCEPTANCE:** ALL TREES BY LANDSCAPE ARCHITECT WILL BE MADE ONLY IF ALL TREES ARE IN PLACE, LIVING AND ARE IN CONFORMANCE WITH THE DRAWING, PLANT LIST AND NOTES.
19. **EXISTING TREE AND VEGETATION PROTECTION:** THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION (WITH PHYSICAL BARRIERS) AND MAINTENANCE OF EXISTING AND TRANSPLANTED TREES DURING CONSTRUCTION (WHERE APPLICABLE, SEE TREE PROTECTION PLAN AND/OR DETAILS).
 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PLANTS AND LANDSCAPE MATERIALS ON SITE THAT ARE NOT DESIGNATED FOR REMOVAL. CONTRACTOR SHALL REPLACE ANY DAMAGED LANDSCAPING TO MATCH EXISTING IN SIZE AND SPECIES UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
20. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THESE PLANS ARE CORRECT, THE OWNER/CONTRACTOR IS TO VERIFY ALL DETAILS AND DIMENSIONS. ON-SITE SUPERVISION IS UNABLE TO BE PROVIDED BY THE LANDSCAPE ARCHITECT/DESIGNER AND AS SUCH THE LANDSCAPE ARCHITECT/DESIGNER HAS NO CONTROL OVER THE INTERPRETATION AND CONSTRUCTION OF THE PROJECT. THEREFORE THERE IS NO WARRANTY WRITTEN, IMPLIED OR PROVIDED FOR THE USE OF THESE PLANS.

FINAL INSPECTION NOTE:

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C:\USERS\JSTAVARES\PROJECTS\DRP\DRP\AREAS\PROJECTS\SHERWOOD COMMON OFFICE PARK WAREHOUSES\DWG\SITE PLAN\06 LANDSCAPE PLANNING FEB-19-2025.BEAST

MR
MR ENGINEERING & SURVEYING, LLC
 8345 Interline Avenue, Baton Rouge, LA 70809 225-490-9592



02/19/2025

Louisiana 811

LA ONE CALL - CALL BEFORE YOU DIG. THE STATE OF LOUISIANA HAS A MANDATORY ONE CALL PROGRAM. ALL CONTRACTORS AND CITY PUBLIC WORKS DEPARTMENTS OF PUBLIC WORKS TO HAVE UTILITIES LOCATED PRIOR TO ANY EXCAVATION WORK. CALL 811 OR VISIT WWW.LAONECALL.COM FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES. THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.

SCOP WAREHOUSES
SHERWOOD COMMON BLVD.
ST. GEORGE, LOUISIANA
EAST BATON ROUGE PARISH
LANDSCAPE DETAILS

DESIGNED JJP CHECKED CBM	DATE 2/2025
DETAILED JJP CHECKED CBM	DATE 06/07

REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION	BY

SHEET NUMBER **06**

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NOT FOR CONSTRUCTION